



ENVIRONMENTAL  
ECOLOGICAL  
SURVEY  
CIVIL

February 20, 2026

Town of Hanover  
Hanover Conservation Commission  
Attn: Sandra MacFarlane, Conservation Agent  
550 Hanover Street  
Hanover, MA 02339

**Re: RDA FOR MINOR ACTIVITIES FOR THE HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT AT  
118 ROCKLAND STREET,  
HANOVER, MASSACHUSETTS (Coneco File # 13493.0)**

Dear Ms. MacFarlane and Conservation Commissioners:

In accordance with the Town of Hanover's Wetland Bylaw (General Bylaw Section 6-14, Page 71) and its implementing Rules and Regulations, Coneco Engineers and Scientists Inc. (Coneco), on behalf of Kurt Kelley (Deputy Superintendent of Hanover's Department of Public Works) is submitting this RDA For Minor Activities for the proposed Household Hazardous Waste Project located at 118 Rockland Street in Hanover, Massachusetts.

The project involves the construction of a Household Hazardous Waste facility at the site of the existing Hanover Transfer Station. The proposed facility will serve as a permanent collection facility, enabling more frequent events, providing residents with increased opportunities, and reducing the number of attendees at each event. The new structures would include prefabricated or manufactured buildings on a concrete slab. The proposed work will occur within Buffer Zone to Bordering Vegetated Wetlands and Bordering Land Subject to Flooding. No portion of the work will be located within the locally protected 50-foot no-build setback.

Enclosed in this permit application is one (1) copy of the RDA For Minor Activities application and supporting information, along with a full-size set of plans. Please don't hesitate to contact me at 978-656-8684 x221 should you have any questions and/or comments.

Sincerely,

A handwritten signature in black ink that reads "Nicholas Hebel". The signature is written in a cursive, flowing style.

Nicholas Hebel, Wetland Scientist  
Coneco Engineers & Scientists

cc: Kurt Kelley - Hanover DPW  
Kevin McHugh, PE, Sr. Project Manager—Coneco

# **ATTACHMENT A**

## **TOWN FILING FORMS**

HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT

118 Rockland Street

Hanover, Massachusetts

RDA FOR MINOR ACTIVITIES



# TOWN OF HANOVER DEPARTMENT OF MUNICIPAL INSPECTIONS CONSERVATION OFFICE

TOWN HALL, 550 HANOVER STREET, HANOVER, MA 02339 • (T) 781-826-6505 • (EMAIL) OFFICE.CONSERVATION@HANOVER-MA.GOV

## SUPPLEMENTAL BYLAW INFORMATION FORM- FOR SUBMITTAL WITH CONSERVATION APPLICATIONS

- Property Location:** 118 Rockland Street, Hanover, MA **Map(s):** 56 **Lot(s):** 1
- Application Type:**  ANRAD  NOI  RDA  Req. for Ext.  Req. for COC  Other: Admin Permit
- This application is filed under:**  both WP Act and WP Bylaws  WP Act only  WP Bylaws only
- Name of Applicant:** Kurt Kelley - Hanover DPW **Phone #:** 781-826-3189  
**E-mail:** KKelley@HanoverDPW.org
- Is Property Owner the Applicant?**  Yes  No- If not, list name & address here and on DEP form<sup>1</sup>.  
a. **Property Owner:** Town of Hanover **Address:** 550 Hanover St, Hanover, MA
- Are there more than one property owners or applicants?**  No  Yes- If so, list name and address of all property owners and which lot(s) they own on a separate sheet of paper and attach to this page.
- Are there multiple parcels?**  No  Yes- If so, list Map and Lot #'s for **each lot** with property recording information (Book and Page or Certificate #) **for each lot**.  
Example: *Map 10, Lot 1: Mable Short, Prop. Owner- Bk 32563, Pg 145 and/or Map 11, Lots 5, 6, 7: Dorothy Long, Prop. Owner- Bk 4546, Pg 66*
- List all resource areas on site:**  BVW  IVW  BLSF  ILSF  Per. Stream  Int. Stream<sup>2</sup>  
 Riverfront Area  Vernal Pool- potential/certifiable/certified  buffer only zone to BLSF, Bank, & BVW  Other: \_\_\_\_\_
- Does the project meet the required Bylaw setbacks to wetlands?**  Yes  No- If not circle which one not met:  
a. 25 ft. no-disturbance and 35 ft. no-structure setbacks for residential<sup>3</sup> projects  
b. 35 ft. no-disturbance and 35 ft. no-structure setback for lots within a subdivision created after 12/16/98  
c. 35 ft. no-disturbance and 50 ft. no- structure setbacks for commercial/industrial projects  
d. 100 ft. no-disturbance setback to potential, certifiable or certified vernal pools  
**If (check one or more)  9.a.  9.b.  9.c. can not be met,** explain why on a separate sheet and attach.
- What type of erosion control?**  filter sock  hay bales/silt fence  silt fence only  other: \_\_\_\_\_
- What is the closest distance:** (Show these distances on your plans with arrows ←→)  
a. from proposed erosion control/limit of work to wetland? 

50	ft.
----	-----

  
b. from closest proposed structure, (e.g. house, garage, septic tank) to wetland? 

59	ft.
----	-----

  
c. from closest proposed leaching field to wetland? 

N/A	ft.
-----	-----

**For multiple wetlands/buffer zones make a list using a. through c. for each and show all on plans.**

- All applications require the submission of a completed Bylaw Fee Schedule Calculation Worksheet and the appropriate fees in full.** (This is in addition to the DEP "City/Town" portion of State Fees listed in Section A of NOI)  
a. Bylaw fees Check #: N/A Ck. Date: N/A Bylaw fees Check amt. \$ N/A
- All ANRAD's and some NOI's/RDA's** require the establishment of a **Guaranteed Deposit Account** for the purpose of peer review. Call the Conservation Office 781-826-6505 prior to submitting applications/plans for all ANRAD's & those NOI's/RDA's with multiple or larger-numerous wetland resource areas for amount due.

**Signature of Property Owner:** \_\_\_\_\_ and/or **Applicant:** \_\_\_\_\_  
*Sign here only if Property Owner has not signed the DEP Form.*

<sup>1</sup> Property Owner must sign this form and DEP applications whether they are the Applicant or not.  
<sup>2</sup> If Intermittent Stream shows as Perennial on the USGS, stream stats and info as per 310 CMR 10.58(2)(a)d. are required.  
<sup>3</sup> This also applies to subdivision lots created prior to 12/16/98. See #9b. for subdivision lots created after this date.



# Hanover Wetlands Protection Bylaw

## WPA Form 1- Request for Determination of Applicability

### for MINOR ACTIVITIES

**Hanover**  
Municipality

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### A. General Information-

**Submit this form to Hanover- Do not submit to DEP**

1. Applicant:

Kurt \_\_\_\_\_ Kelley \_\_\_\_\_  
 First Name Last Name  
 495 Hanover Street \_\_\_\_\_  
 Address (St # and name, Town, State, Zip)  
 781-826-3189 \_\_\_\_\_ KKelley@HanoverDPW.org \_\_\_\_\_  
 Phone Number Email Address

2. Property Owner or check this box:  Applicant is Property Owner

Town of Hanover \_\_\_\_\_  
 First Name Last Name  
 550 Hanover Street, Hanover, MA 02339 \_\_\_\_\_  
 Address (St # and name, Town, State, Zip)  
 \_\_\_\_\_  
 Phone Number Email Address (if known)

3. Representative or Contractor to be on site or check this box:  Homeowner to do work.

Nicholas \_\_\_\_\_ Hebel \_\_\_\_\_  
 First Name Last Name  
 Coneco Engineers & Scientists \_\_\_\_\_  
 Company Name  
 238 Littleton Road, Suite 105 \_\_\_\_\_  
 Address  
 Westford \_\_\_\_\_ MA \_\_\_\_\_ 01886 \_\_\_\_\_  
 City/Town State Zip Code  
 978-656-8684 ext 221 \_\_\_\_\_ nhebel@coneco.com \_\_\_\_\_  
 Phone Number Email Address (if known)

### B. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

118 Rockland Street, Hanover, MA 02339 \_\_\_\_\_  
 Street Address where work will be conducted  
 56-1 \_\_\_\_\_  
 Assessors' Map Number Assessors' Lot/Parcel Number

b. Area Description (Where does work take place? on single family dwelling lot, residential lawn, wetland types, paved or gravel area? Be specific. ):

The project is the construction of a Household Hazardous Waste facility at the existing Hanover  
 Transfer Station. The location of the proposed work will be within an existing area of pavement.  
 There are Bordering Vegetated Wetlands and Bordering Land Subject to Flooding to the West.



# **ATTACHMENT B**

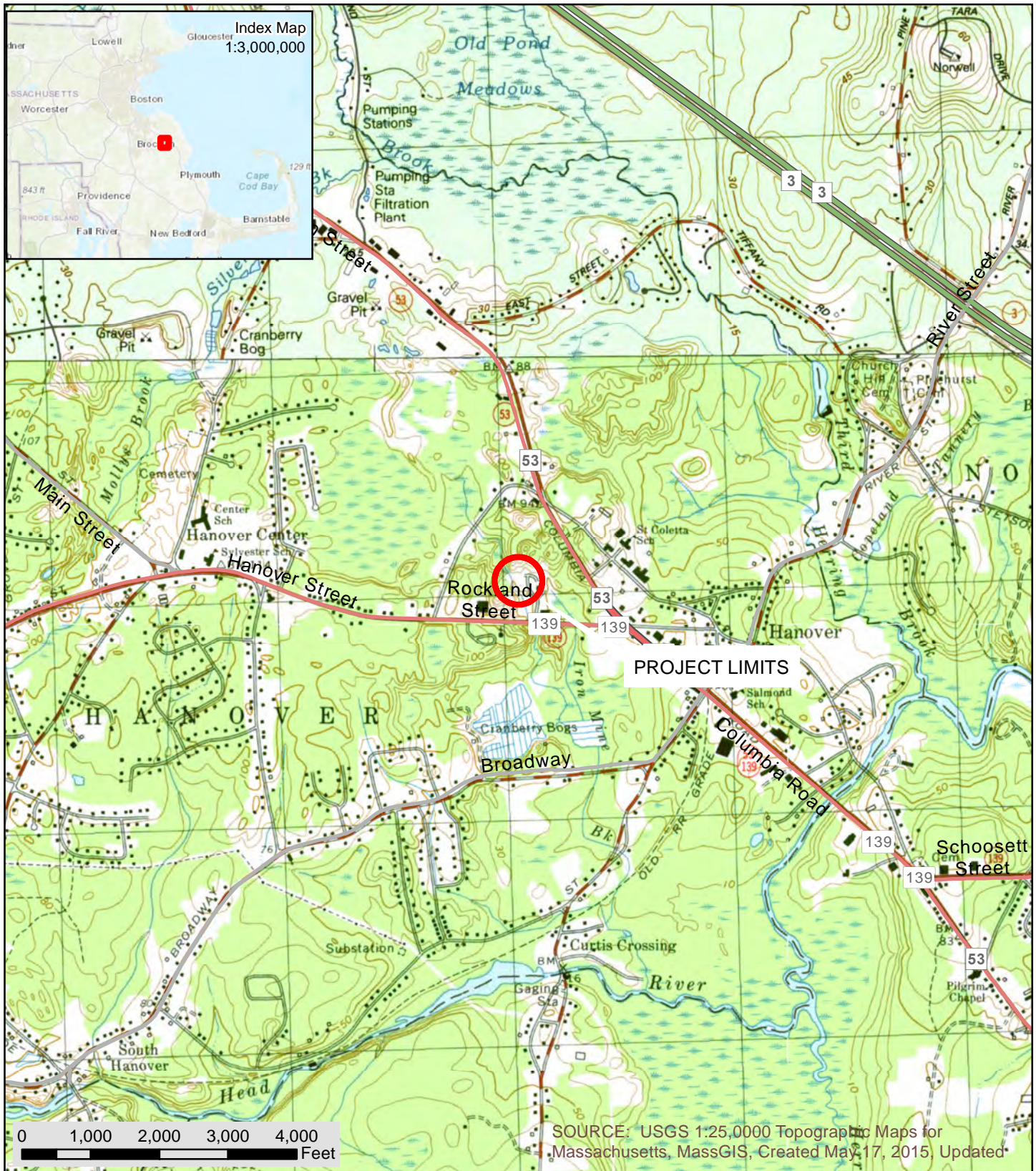
## **FIGURES**

HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT

118 Rockland Street

Hanover, Massachusetts

RDA FOR MINOR ACTIVITIES



North arrow pointing up.

1:24,000

1 inch = 2,000 feet

**FIGURE 1: USGS TOPOGRAPHIC MAP**  
 from Hanover MA Quadrangle, 7.5 Minute Series  
**HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT**  
 Hanover, Massachusetts


42.115833°N , -70.825194°W

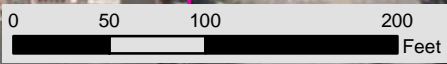
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 USGS, MassGIS






**Legend**

 Project Area



  
1:1,200  
1 inch = 100 feet

**FIGURE 2: AERIAL IMAGE**

**HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT**  
Hanover, Massachusetts

42.115833°N , -70.825194°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community





- Legend**
- Project Area
  - Perennial Stream
  - Intermittent Stream
  - Shoreline
  - Hydrologic Connection
  - Mean Low Water Line
  - Wetland Limit
  - Closure Line
  - Marsh/Bog
  - Wooded marsh
  - Cranberry Bog
  - Salt Marsh
  - Open Water
  - Reservoir (with PWSID)
  - Tidal Flats
  - Beach/Dune

0 100 200  
 Feet



1:1,200  
 1 inch = 100 feet

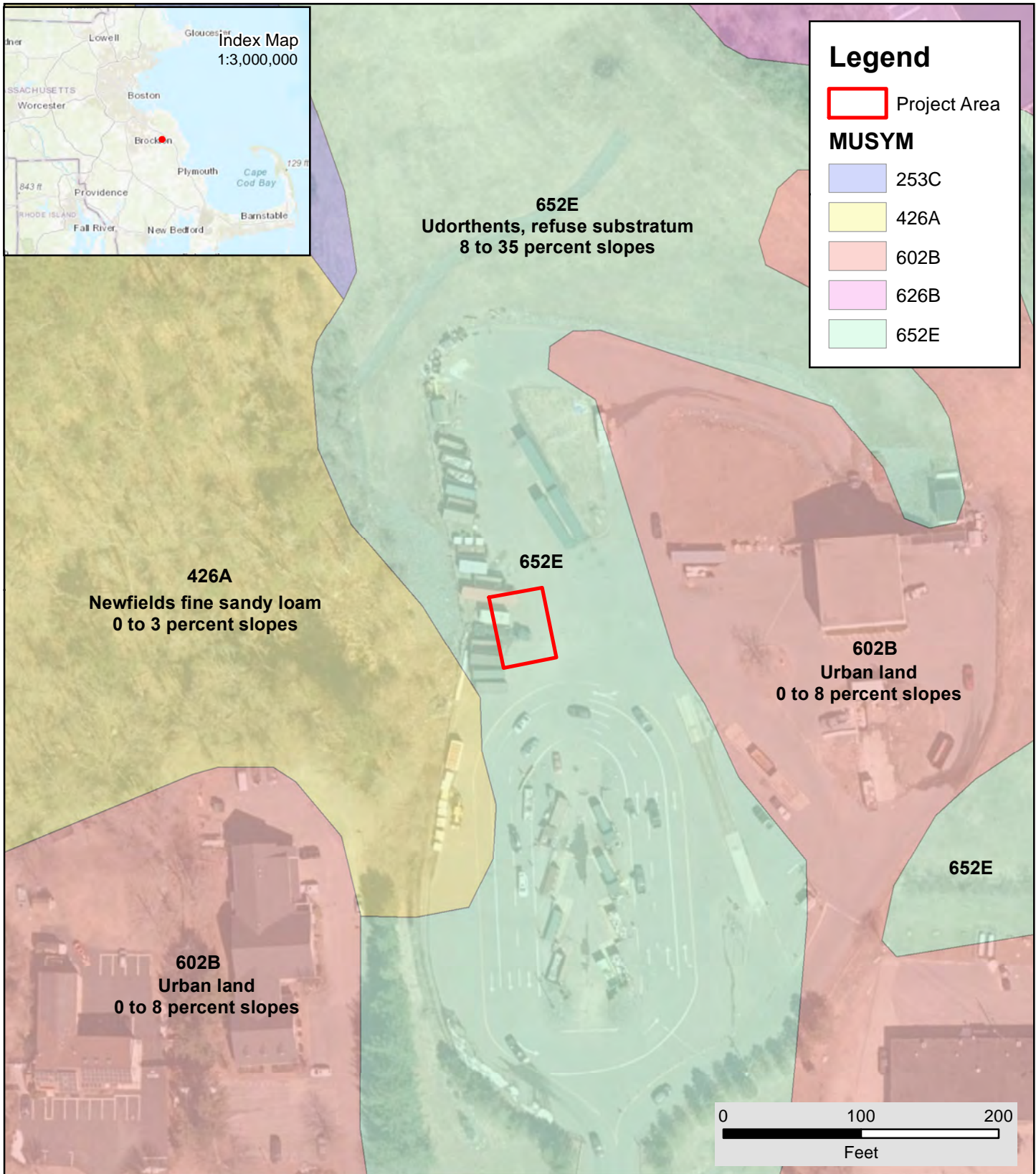
**FIGURE 3: MA DEP WETLANDS**

**HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT**  
 Hanover, Massachusetts

42.115833°N , -70.825194°W

MassDEP  
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community





**FIGURE 4: NRCS Soils**

**HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT**  
Hanover, Massachusetts

42.115833°N , -70.825194°W

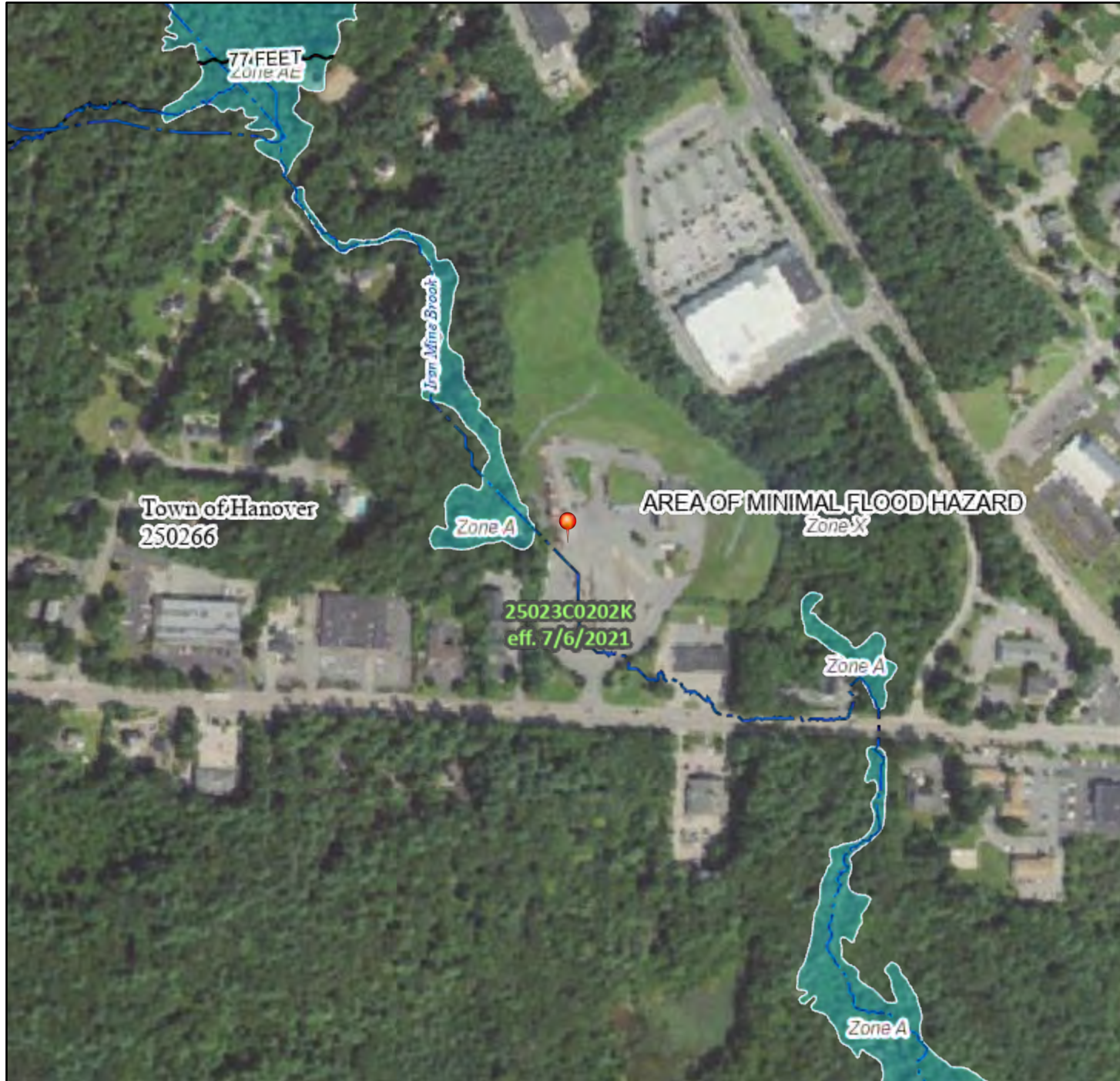
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



# National Flood Hazard Layer FIRMMette



70°49'50"W 42°7'10"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

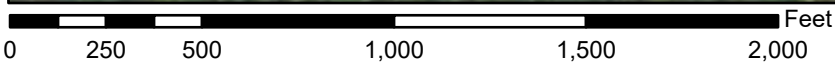
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **9/24/2025 at 2:31 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



1:6,000

70°49'12"W 42°6'43"N

Basemap Imagery Source: USGS National Map 2023



N

1:2,400  
1 inch = 200 feet

**FIGURE 6: MA Natural Heritage Endangered Species Program  
 VERNAL POOLS, PRIORITY HABITAT & ESTIMATED HABITAT  
 HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT  
 Hanover, Massachusetts**

42.115833°N , -70.825194°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 MassGIS, NHESP





**Legend**

- Project Area
- Areas of Critical Environmental Concern
- MA DFW Coldwater Fisheries Resources
- DEP Approved Zone I
- DEP Approved Zone II
- IWPA

**Outstanding Resource Waters**

**ORW Type**

- ACEC
- Cape Cod National Seashore
- Protected Shoreline
- Public Water Supply Watershed
- Retired Public Water Supply
- Scenic/Protected River
- Wildlife Refuge
- ZONE A
- ZONE B

0 50 100 200 Feet



1:1,200

**FIGURE 7: CRITICAL AREAS (ACECs, ORWs,  
 GROUND WATER PROTECTION AREAS, ETC.)  
 HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT  
 Hanover, Massachusetts**

42.115833°N , -70.825194°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 Mass. Executive Office of Energy and Environmental Affairs (EEA), MassGIS



# **ATTACHMENT C**

## **PHOTOGRAPHS**

HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT

118 Rockland Street

Hanover, Massachusetts

RDA FOR MINOR ACTIVITIES



238 Littleton Road, Suite 105, Westford, MA 01886  
Telephone: 978-656-8684 x202

**118 Rockland Street  
Hanover Household Hazardous Waste Facility Project  
Photos Taken September 3, 2025 by Coneco.**



**Photo 1:** View of WSP-1 data point near wetland flag W1, viewing southwest.



**Photo 2:** View of WSP-1 data point near wetland flag W1, viewing west.



**Photo 3:** View of the edge of the wetland bordering the riprap near wetland flag W1, viewing east.



**Photo 4:** View of the edge of the wetland bordering the riprap near wetland flag W1, viewing southeast.



**Photo 5:** View of wetlands, viewing west near flag W3.



**Photo 6:** View of edge of wetlands near flag W6. Wetland vegetation continues into the uplands.



**Photo 7:** View of the wetland edge at flag W10, viewing north.



**Photo 8:** View of the project site, viewing north.



**Photo 9:** View of the project site, viewing southwest.



**Photo 10:** View of the project site, viewing southwest.



**Photo 11:** View of the concrete dividers, viewing northwest near the edge of the pavement. Wetland vegetation has grown up the hillside far past the edge of wetlands.



**Photo 12:** View of the concrete dividers, viewing southwest near the edge of the pavement. Wetland vegetation has grown up the hillside far past the edge of wetlands.

# **ATTACHMENT D**

## **WETLAND DATA SHEET**

HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT

118 Rockland Street

Hanover, Massachusetts

RDA FOR MINOR ACTIVITIES

## MassDEP Bordering Vegetated Wetland (310 CMR 10.55) Delineation Field Data Form

Applicant: Hanover Prepared by: Coneco Project location: Waste Facility DEP File #: \_\_\_\_\_

Check all that apply:

- Vegetation alone presumed adequate to delineate BVW boundary: fill out Section I only
- Vegetation and other indicators of hydrology used to delineate BVW boundary: fill out Sections I and II
- Method other than dominance test used (attach additional information)

### Section I.

Vegetation	Observation Plot Number: WSP-1		Transect Number:	Date of Delineation: 9/30/25
A. Sample Layer & Plant Species (by common/scientific name)	B. Percent Cover (or basal Area)	C. Percent Dominance	D. Dominant Plant (yes or no)	E. Wetland Indicator Category*
Sensitive fern / Onoclea sensibilis	18		Yes	FACW
Long-beaked willow / Salix bebbiana	65		Yes	FACW
Red maple / Acer rubrum	12		Yes	FAC
White pine / Pinus strobus	8		Yes	FACU
Northern dewberry / Rubus flagellaris	5		No	FACU
Jewelweed / Impatiens capensis	2		No	FACW
Tufted grass / Deschampsia cespitosa	2		No	FACW
VA creeper / Parthenocissus quinquefolia	2		No	FACU

\* Use an asterisk to mark wetland indicator plants: plant species listed in the Wetlands Protection Act (MGL c.131, s.40); plants in the genus Sphagnum; plants listed as FAC, FAC+, FACW-, FACW, FACW+, or OBL; or plants with physiological or morphological adaptations. If any plants are identified as wetland indicator plants due to physiological or morphological adaptations, describe the adaptation next to the asterisk.

**Vegetation conclusion:**  
 Number of dominant wetland indicator plants: 3 Number of dominant non-wetland indicator plants: 1  
 Is the number of dominant wetland plants equal to or greater than the number of dominant non-wetland plants?  yes  no

NOTE: If vegetation alone is presumed adequate to delineate the BVW boundary, submit this form with the RDA or NOI.

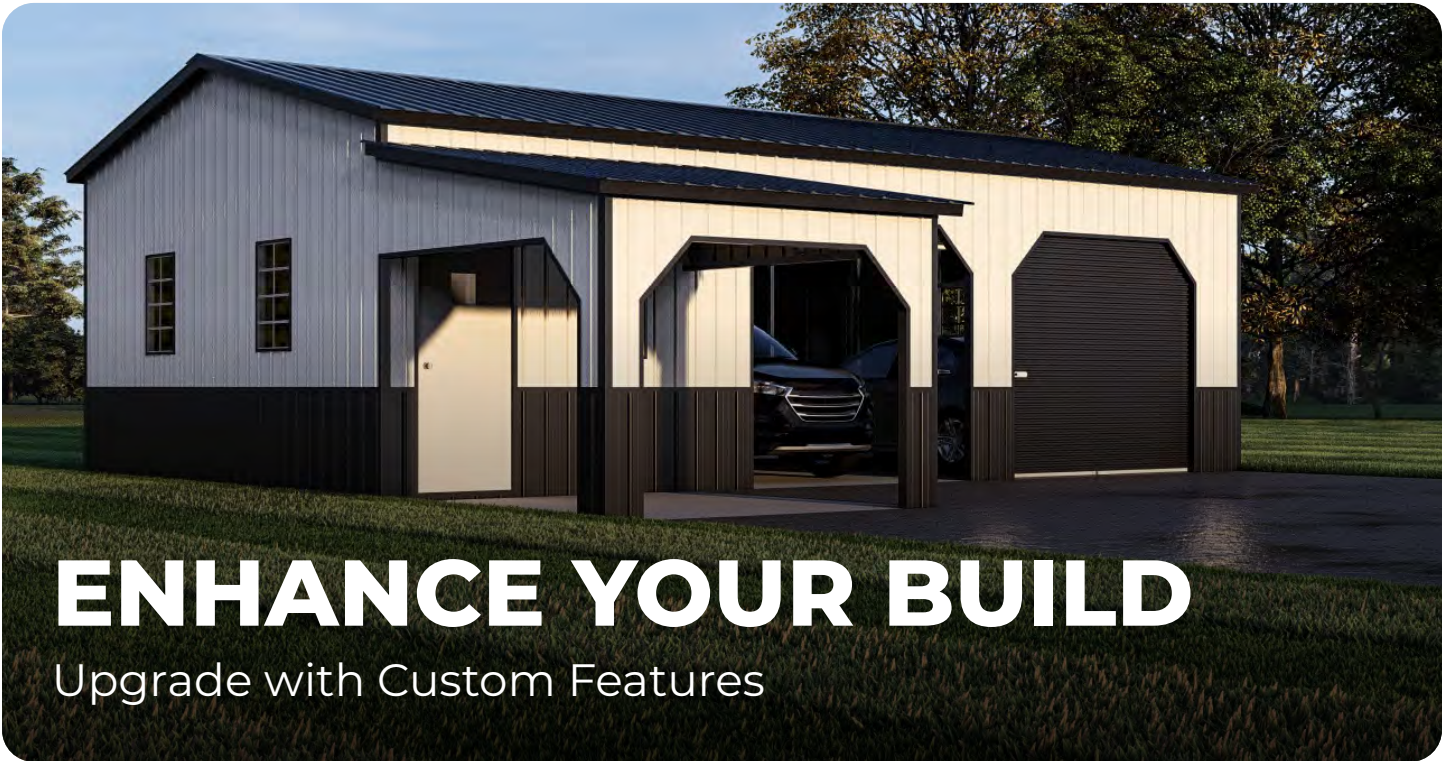
# **ATTACHMENT E**

## **PROJECT PLANS & BUILDING SPECS (BOUND SEPARATELY)**

HOUSEHOLD HAZARDOUS WASTE FACILITY PROJECT  
118 Rockland Street  
Hanover, Massachusetts  
RDA FOR MINOR ACTIVITIES



**PREMIER**  
METAL STRUCTURES



# ENHANCE YOUR BUILD

Upgrade with Custom Features

## Header Seals

Seal the open space between garage door and header bar

## Vertical Walls

Wall siding running vertical instead of the horizontal look

## Color Screws

Avoid the galvanized screws and opt for color matching screws

## Insulation

We offer different types of insulation. Call for more info.

## Color Windows

Black border windows available now

## 12 Gauge Frame

Upgrade to a thicker gauge for a stronger frame

## Color Roll Up Doors

We offer different colors for a more appealing look

## 26 Gauge Siding

We offer a thicker and stronger gauge for all of your sheet metal

## Walk-In Doors

Choose between our options for a more residential look

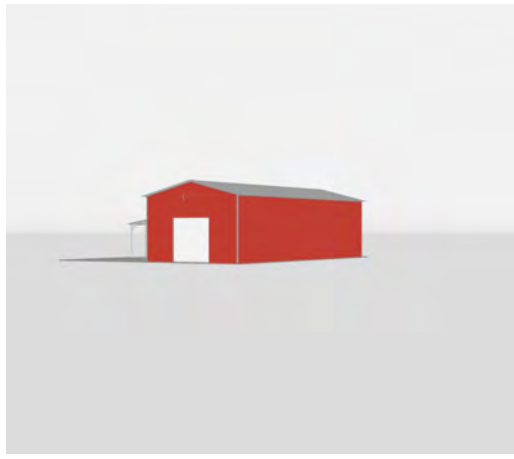
## Others

4' Centers, Different Roof Pitches, 1' Overhang, Rat Guard, Foam Enclosures, lean-to's

**CONTACT US FOR MORE INFORMATION**

PremierMetalStructures.com | (877) 647-4559

**BUILDING VIEW**

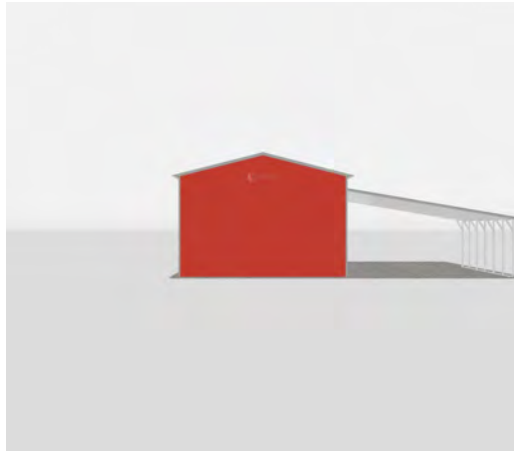


**FRONT**



**RIGHT**

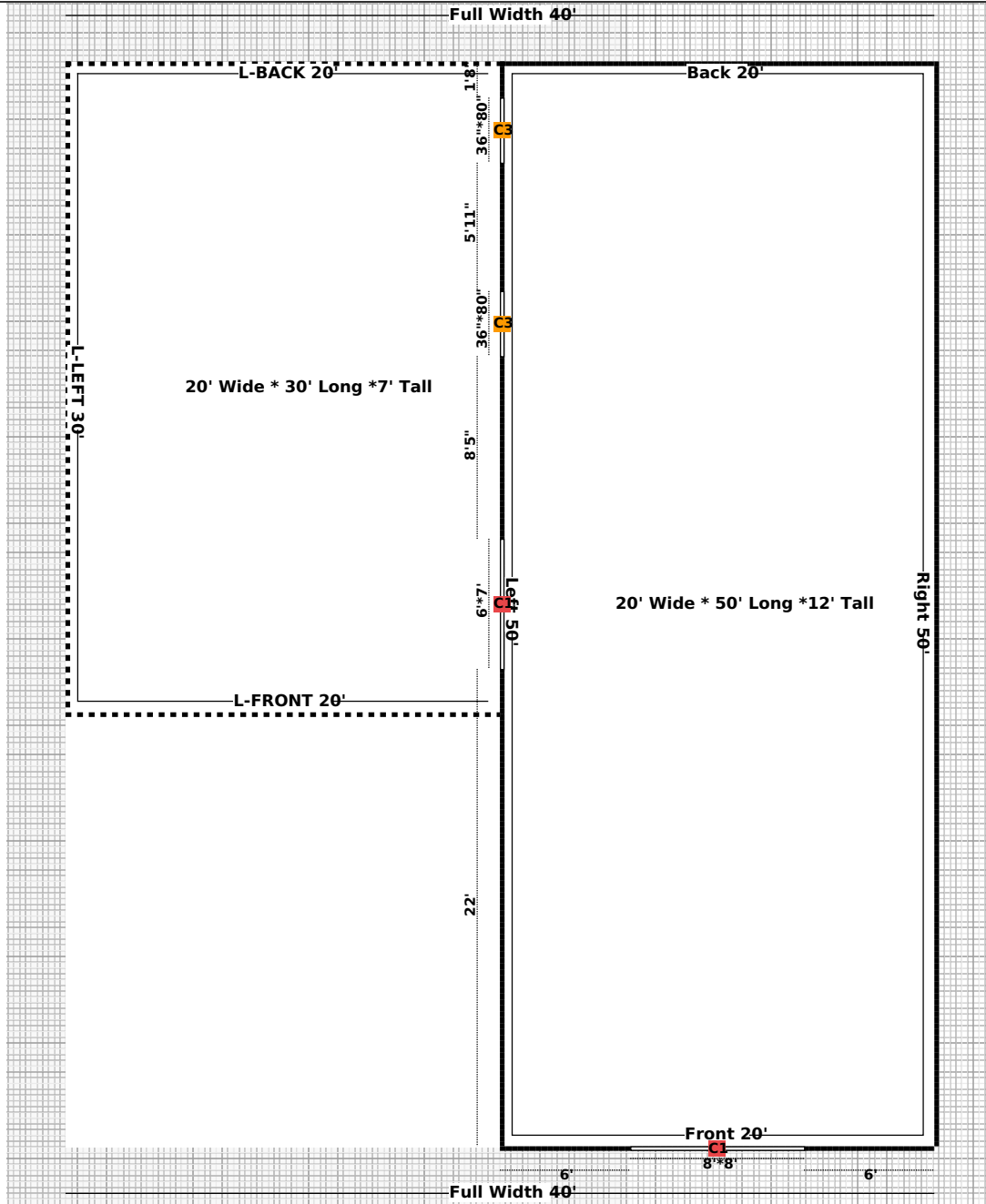
**BUILDING VIEW**



**BACK**



**LEFT**



**LEGENDS**

- C1 Garage Door
- C2 Garage Door Frameout
- C3 Walk in Door
- C4 Walk in Door Frameout
- C5 Windows
- C6 Windows Frameout
- C7 Open Wall
- C8 Close Wall
- C9 Distance
- C10 Storage Length (Utility)
- C Cupola

# Plans Checklist to Accompany DEP Application for Request for Determination of Applicability (RDA)

This is a Bylaw Supplemental form to aid you in submitting complete and appropriate information on your plans.

**THIS PAGE MUST BE INCLUDED WITH YOUR RDA APPLICATION.** All applicable boxes must be marked with  or identified as "N/A".

These details are required on plans to accompany a DEP RDA application<sup>1</sup>:

- north arrow  locus insert  bar scale- **1 in. = 20 ft.**
- existing contours (black dashed line- - - - -)
- existing structure(s) with natural and man-made features
- existing rights-of-way, easements, ancient ways or other deeded ways
- existing utilities- all locations (use standard engineering symbols/notations)
- name of Wetland Specialist responsible for identifying wetland boundaries
- date wetland was flagged (must be no more than 3 yrs. prior to current date<sup>2</sup>)
- wetland boundaries with flag #'s (highlighted blue)
- notations identifying all wetland types  
(include potential or certified vernal pools w/ 100' habitat area highlighted in green).
- 100 ft Buffer zone to wetlands (solid green line -----)
- 50 ft Buffer zone to wetlands (dashed green line - - - - -)
- 35 ft no-structure setback to wetlands (dashed black line --- - - - - -)
- 35 ft no-structure/no-disturbance setback (non-residential) same as above
- 25 ft no-disturbance setback to wetland (dashed black line - - - - -)
- floodplain (highlighted orange) per FEMA flood plain maps (if applicable)
- Annual MHW line to Riverfront area (purple solid line) labeled w/ name of River
- 200 ft. and 100 ft. Riverfront areas (purple dashed line-----) (if applicable)
- shortest distance to resource areas from proposed structure ( → )
- shortest distance to resource areas from erosion control materials ( → )
- If able, please send a pdf of plans and documents to [sandra.macfarlane@hanover-ma.gov](mailto:sandra.macfarlane@hanover-ma.gov)

- Title Block** with the following information:  Plan Title
- Applicant's Name(s), address and phone
  - Property Owner Name(s), address and phone
  - Location/Street name and number-  
**Must obtain from Assessor's Office if new lot, prior to submission of NOI**
  - Assessor Map and Lot number(s) (**All lots on which there will be activity, must** be listed on the plan with appropriate Registry info.- BK/Pg or Cert. #)
  - plan preparer's name, title and company/firm name
  - date plan prepared
  - proposed contours (**black solid line**)
  - proposed structure(s) (including driveway work, septic components, etc.)<sup>3</sup>
  - proposed location of utility lines
  - erosion control line (**highlighted red**) with erosion control material detail
  - limit of Work line (**may be same as erosion control line**)
  - conservation post locations (■ solid square symbol to indicate location of posts)
  - conservation post detail and plaque detail (copy available on website)
  - location of temporary stockpiles w/ notation of content (e.g. excavated soils)<sup>4</sup>
  - drywells for stormwater run-off are required for all structures requiring a Building Permit. Certain inground swimming pools also require dry wells for recharge to ground water.
  - drywell construction detail (copy available on website)
  - detail showing the access pathway to work area
  - crushed stone apron onto property as per DPW standards
  - signature and stamp of licensed surveyor or professional engineer
  - access path to site for proposed work**

I certify that the above checked items have been completed and understand that incomplete applications are cause for scheduling delays/continuations of public hearings.

Signed: Nicholas Fitchel Title: \_\_\_\_\_ Date: 2/20/26

<sup>1</sup> Other documents are required with the application packet- see Submittal Requirements form.  
<sup>2</sup> Wetland delineation more than three years old is not acceptable for plan submission to the Cons. Commission. Call the Cons. Office for further details.  
<sup>3</sup> For Septic upgrades, show location of all features to be abandoned including detail notations. For structure demolition, show existing structural footprint.  
<sup>4</sup> depending on the content and size, stockpiles, even temporary piles, may require erosion control at base.

# HANOVER TRANSFER STATION SITE PLANS

## 118 ROCKLAND STREET HANOVER, MA 02339



MASS GIS 2023 AERIAL PHOTO  
SCALE: 1" = 500'



SCALE: 1" = 50'

DESCRIPTION	SHEET
COVER SHEET	1
NOTES & LEGEND	2
EXISTING CONDITIONS	3
SITE LAYOUT PLANS	4
TURNING ANALYSIS PLANS	5
DETAILS	6

PREPARED FOR:

**SOUTH SHORE RECYCLING COOPERATIVE**  
118 ROCKLAND STREET  
HANOVER, MA 02339

**PREPARED ON:  
JANUARY 7, 2026**



4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324  
PHONE: 508.697.3191, FAX: 508.697.5996  
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ENGINEER:  
KEVIN E. MCHUGH, P.E.  
CONECO ENGINEERS & SCIENTISTS, INC.  
WESTFORD, MA 01886

MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER #45196

DATE: \_\_\_\_\_

SURVEYOR:  
TIMOTHY S. BODAH, P.L.S.  
CONECO ENGINEERS & SCIENTISTS, INC.  
BRIDGEWATER, MA 02324

MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR #46110

DATE: \_\_\_\_\_

HANOVER TRANSFER STATION			
118 ROCKLAND STREET, HANOVER, MA 02339			
REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	PROPERTY LINE ABUTTER
---	---	EASEMENT LINE
---	---	FLOOD ZONE
---	---	EDGE OF WETLAND
---	---	25' WETLAND BUFFER
---	---	100' WETLAND BUFFER
---	---	MAJOR GROUND CONTOUR
---	---	MINOR GROUND CONTOUR
---	---	EDGE OF PAVEMENT
---	---	CURB
---	---	BUILDING
---	---	TREE LINE
---	---	GUARD RAIL
---	---	POST AND RAIL FENCE
---	---	CHAIN LINK FENCE
---	---	ELECTRIC LINE
---	---	SEWER LINE
---	---	OVERHEAD WIRE
---	---	SEWER MANHOLE
---	---	DRAIN MANHOLE
---	---	TEST PIT
---	---	UTILITY POLE
---	---	BANK/WETLAND FLAG
---	---	HYDRANT
---	---	HAYBALE
---	---	FLARED END SECTION
---	---	DUMPSTER

**ABBREVIATIONS**

ABBREV.	DESCRIPTION
ADJ	ADJUST
BC	BOTTOM OF CURB
BCB	BITUMINOUS CONCRETE BERM
BCC	BITUMINOUS CONCRETE CURB
BIT.	BITUMINOUS
BIT. CONC.	BITUMINOUS CONCRETE
BLDG	BUILDING
BM	BENCH MARK
BVW	BORDERING VEGETATED WETLAND
CC	CONCRETE CURB
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
CPD	CONCRETE PAD
CRD	COORDINATE
CU	CONTAMINATION UNKNOWN
CY	CUBIC YARD
DBL	DOUBLE
DEM	DEMOLISH
DIA.	DIAMETER
DIM.	DIMENSION
DMH	DRAIN MANHOLE
EHH	ELECTRIC HANDHOLE
ELEV.	ELEVATION
ELEC.	ELECTRIC
EM	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EOW	EDGE OF WETLANDS
EXIST.	EXISTING
EXT.	EXTERIOR
FF	FINISHED FLOOR
FT	FOOT OR FEET
GC	GENERAL CONTRACTOR
GCB	GRANITE CURB
GEN	GENERAL
GFE	GARAGE FLOOR ELEVATION
GR	GUARD RAIL
GV	GATE VALVE
GW	GROUND WATER
HOR	HORIZONTAL
HW	HEADWALL
HYD	HYDRANT
ID	INSIDE DIAMETER
IN	INCHES
INST	INSTALLED
INV., I	INVERT
L	LENGTH
MAT	MATERIAL
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
N	NORTH
NAVD	NORTH AMERICAN VERTICAL DATUM
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHANG
OHW	OVERHEAD WIRE
PCC	PRECAST CONCRETE CURB
PERF	PERFORATED
PKG	PARKING
PL	PROPERTY LINE
PLMB	PLUMBING
PROP., P	PROPOSED
R	RIM
R&R	REMOVE & RESET/REPLACE
RD	ROAD
RD#	ROAD DRAIN NUMBER
REM	REMOVE
TBR	TO BE REMOVED
TC	TOP OF CURB
TOF	TOP OF FOUNDATION
TYP.	TYPICAL
UP	UTILITY POLE
WGR	WOODEN GUARD RAIL

**NOTES**

**GENERAL:**

1. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" (1-888-DIGSAFE) AT LEAST 72 HOURS (3 BUSINESS DAYS) BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS.
4. SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
7. DEGRADED AND DAMAGED EROSION CONTROLS TO BE REPLACED BY THE CONTRACTOR UNTIL FINAL SOIL STABILIZATION METHODS HAVE BEEN ESTABLISHED.
8. BUILDING HEIGHTS SHALL CONFORM TO LATEST ARCHITECTURAL DESIGN PLANS, BUT SHALL NOT EXCEED FORTY (40) FEET.

**LAYOUT & MATERIALS:**

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CONCRETE BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

**EXISTING CONDITIONS INFORMATION:**

1. THE PROPERTY IS REFERENCED BY THE TOWN/CITY OF HANOVER ASSESSOR AS ASSESSOR'S MAP 56 LOT 1.
2. OWNER OF RECORD ACCORDING TO ASSESSORS RECORDS: TOWN OF HANOVER BOOK 2271, PAGE 154
3. ELEVATIONS REFER TO NAVD 88.
4. WETLANDS DELINEATED BY CONECO ENGINEERS & SCIENTISTS ON SEPTEMBER 30, 2025.
5. TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM A FIELD SURVEY PERFORMED BY CONECO ENGINEERS & SCIENTISTS ON OCTOBER 6, 2025.
6. THE PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25023C0202K, DATED JULY 6, 2021.
7. UNDERGROUND UTILITY LOCATION AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION, DIGSAFE AND THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.
8. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.

**LANDSCAPING:**

1. ALL AREAS CLEARED AND/OR DISTURBED SHALL BE BROUGHT TO WITHIN 4 INCHES OF FINAL GRADE AND FINISHED WITH 4 INCHES OF LOAM AND SEED EXCEPT WHERE OTHER FINISHES ARE PROPOSED (REFER TO PLANS). LOAM AND SEEDING AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.

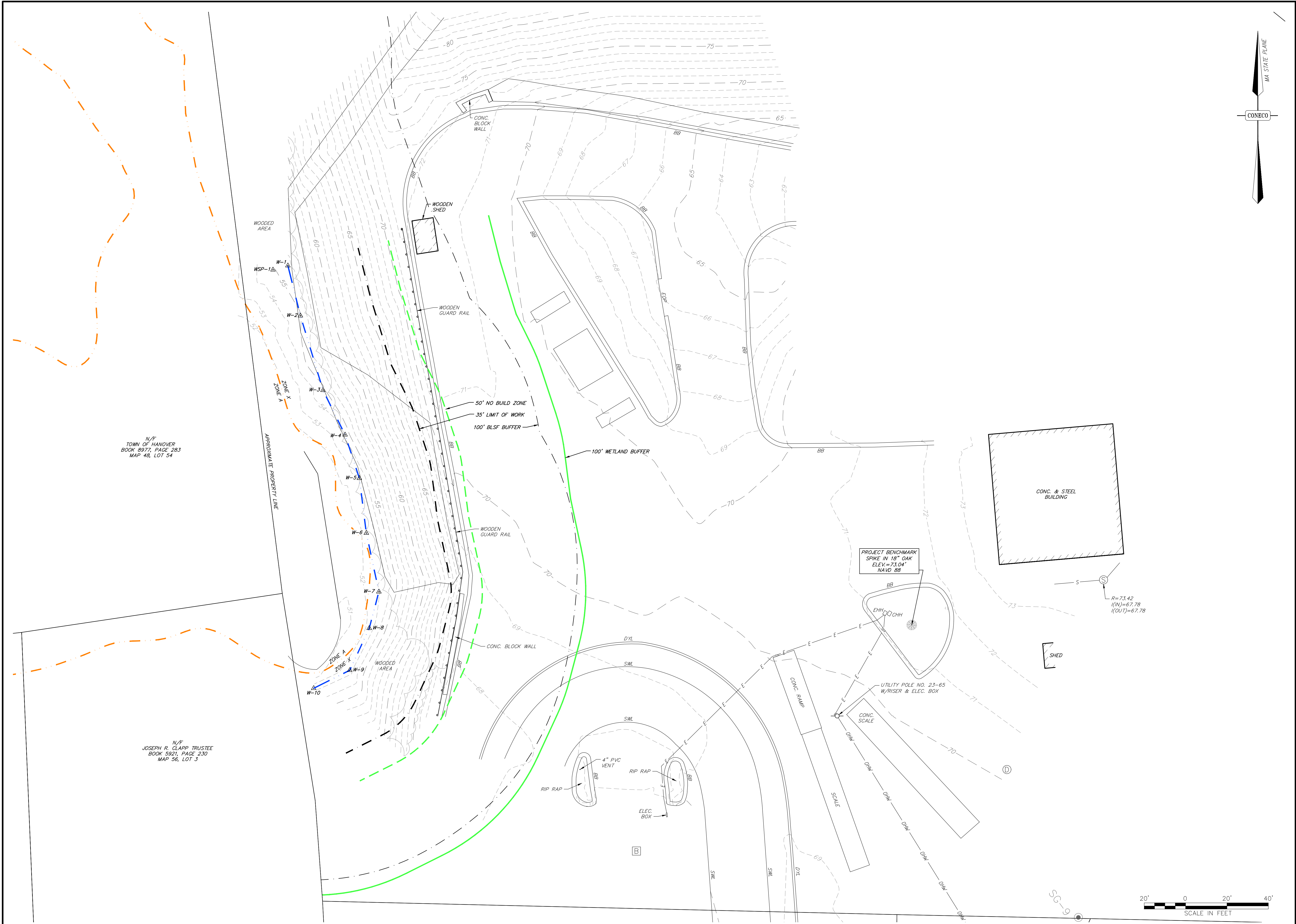
**UTILITIES:**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR.
3. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITY COMPANY.
4. EXISTING UNDERGROUND DRAINAGE SYSTEMS TO BE CLEANED AT THE END OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONCRETE STRUCTURES FOR BUOYANCY PRIOR TO FABRICATION. THE CONTRACTOR SHALL TAKE MEASURES TO GUARANTEE STRUCTURES DO NOT FLOAT WHEN FULLY SUBMERGED DUE TO GROUNDWATER OR OTHER INUNDATION.



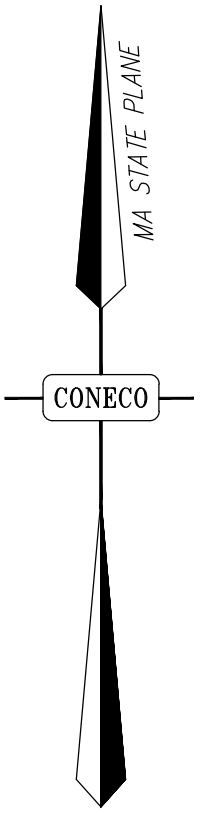
LOCUS MAP  
Scale: 1" = 1000'

REVISIONS	DR/CK							
	DESCRIPTION							
DATE								
NO.								
PREPARED FOR:	SOUTH SHORE RECYCLING COOPERATIVE 118 ROCKLAND STREET HANOVER, MA 02339						DRAWING:	NOTES & LEGEND
PROJECT:	HANOVER TRANSFER STATION 118 ROCKLAND STREET HANOVER, MA 02339						PLAN SET:	SITE PLANS
<p>CONECO Engineers &amp; Scientists PHONE: 800-548-3355 WEBSITE: www.coneco.com</p>								
DATE	01/07/2026							
DESIGNED: BTM	CHECKED: MSD							
DRAFTED: BTM	IN CHARGE: KEM							
SCALE:	AS SHOWN							
PROJECT NO.	13493.0							
SHEET NO.	<div style="font-size: 2em; font-weight: bold;">2</div> OF 6							



N/F  
TOWN OF HANOVER  
BOOK 8977, PAGE 283  
MAP 48, LOT 54

N/F  
JOSEPH R. CLAPP TRUSTEE  
BOOK 9921, PAGE 230  
MAP 56, LOT 3



REVISIONS	
NO.	DESCRIPTION

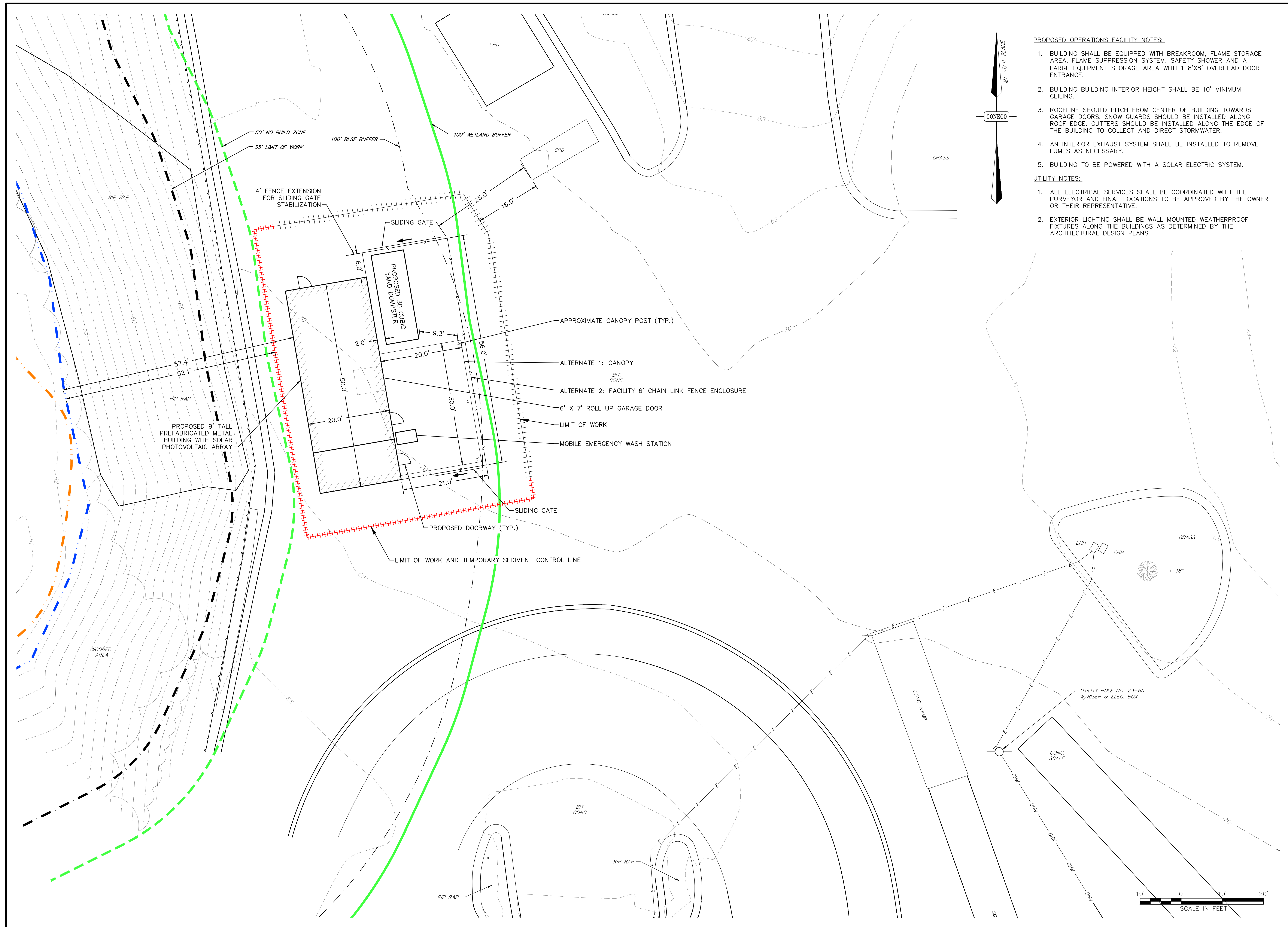
PREPARED FOR:  
SOUTH SHORE RECYCLING COOPERATIVE  
118 ROCKLAND STREET  
HANOVER, MA 02339

PROJECT:  
HANOVER TRANSFER STATION  
118 ROCKLAND STREET  
HANOVER, MA 02339

**CONECO**  
Engineers & Scientists  
PHONE: 800-548-3355 WEBSITE: www.coneco.com

DATE	01/07/2026
DESIGNED:	CHECKED: MSD
DRAFTED: WB	IN CHARGE: KEM
SCALE:	1" = 20'
PROJECT NO.	13493.0

SHEET NO. **3**  
OF 6



- PROPOSED OPERATIONS FACILITY NOTES:**
- BUILDING SHALL BE EQUIPPED WITH BREAKROOM, FLAME STORAGE AREA, FLAME SUPPRESSION SYSTEM, SAFETY SHOWER AND A LARGE EQUIPMENT STORAGE AREA WITH 1 8'X8' OVERHEAD DOOR ENTRANCE.
  - BUILDING INTERIOR HEIGHT SHALL BE 10' MINIMUM CEILING.
  - ROOFLINE SHOULD PITCH FROM CENTER OF BUILDING TOWARDS GARAGE DOORS. SNOW GUARDS SHOULD BE INSTALLED ALONG ROOF EDGE. GUTTERS SHOULD BE INSTALLED ALONG THE EDGE OF THE BUILDING TO COLLECT AND DIRECT STORMWATER.
  - AN INTERIOR EXHAUST SYSTEM SHALL BE INSTALLED TO REMOVE FUMES AS NECESSARY.
  - BUILDING TO BE POWERED WITH A SOLAR ELECTRIC SYSTEM.
- UTILITY NOTES:**
- ALL ELECTRICAL SERVICES SHALL BE COORDINATED WITH THE PURVEYOR AND FINAL LOCATIONS TO BE APPROVED BY THE OWNER OR THEIR REPRESENTATIVE.
  - EXTERIOR LIGHTING SHALL BE WALL MOUNTED WEATHERPROOF FIXTURES ALONG THE BUILDINGS AS DETERMINED BY THE ARCHITECTURAL DESIGN PLANS.

NO.	DATE	DESCRIPTION	DR/CK

PREPARED FOR:  
**SOUTH SHORE RECYCLING COOPERATIVE**  
 118 ROCKLAND STREET  
 HANOVER, MA 02339

DRAWING:  
**SITE LAYOUT PLAN**

PROJECT:  
**HANOVER TRANSFER STATION**  
 118 ROCKLAND STREET  
 HANOVER, MA 02339

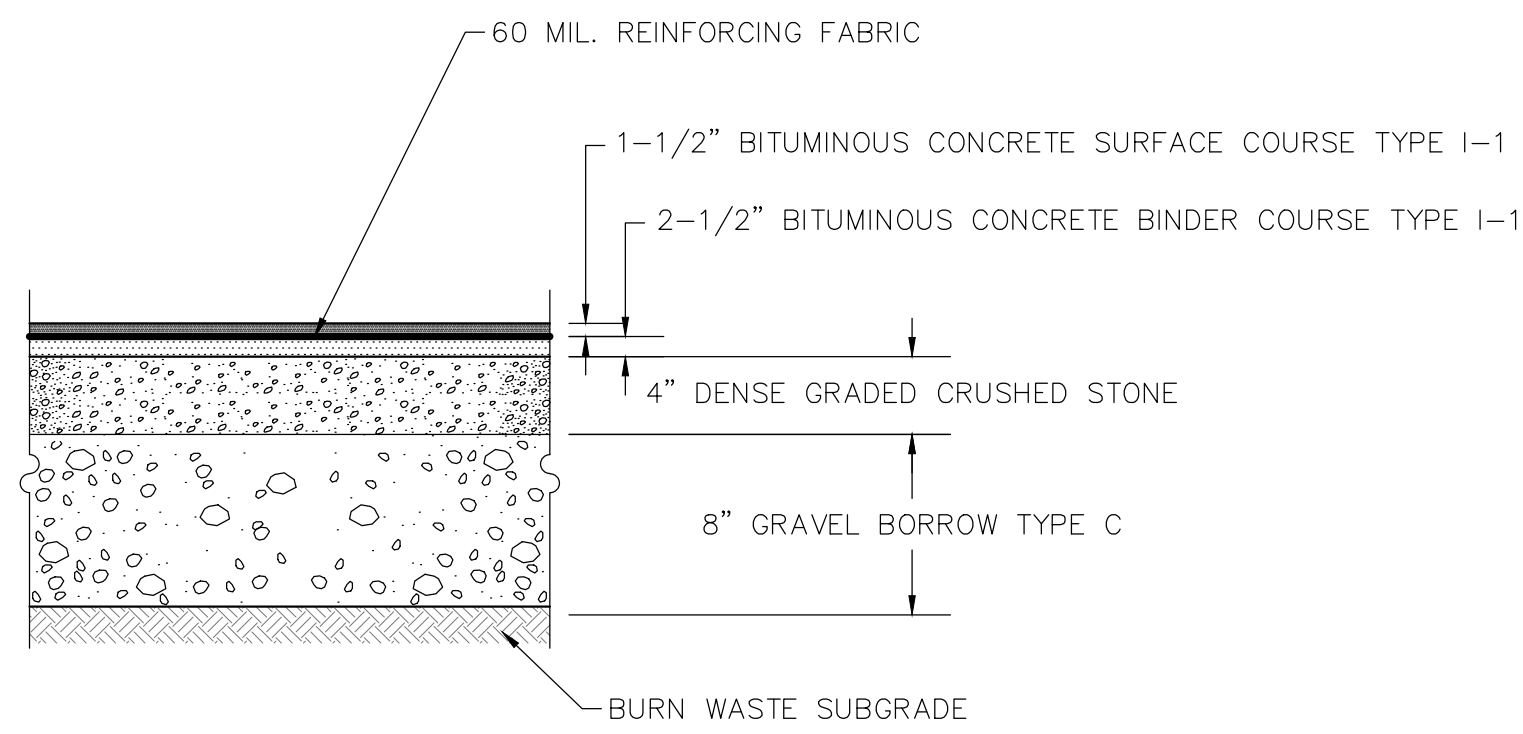
PLAN SET:  
**SITE PLANS**

**CONECO**  
**Engineers & Scientists**  
 PHONE: 800-548-3355 WEBSITE: www.coneco.com

DATE	01/07/2026
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SCALE:	1" = 10'
PROJECT NO.	13493.0
SHEET NO.	<b>4</b>

OF 6

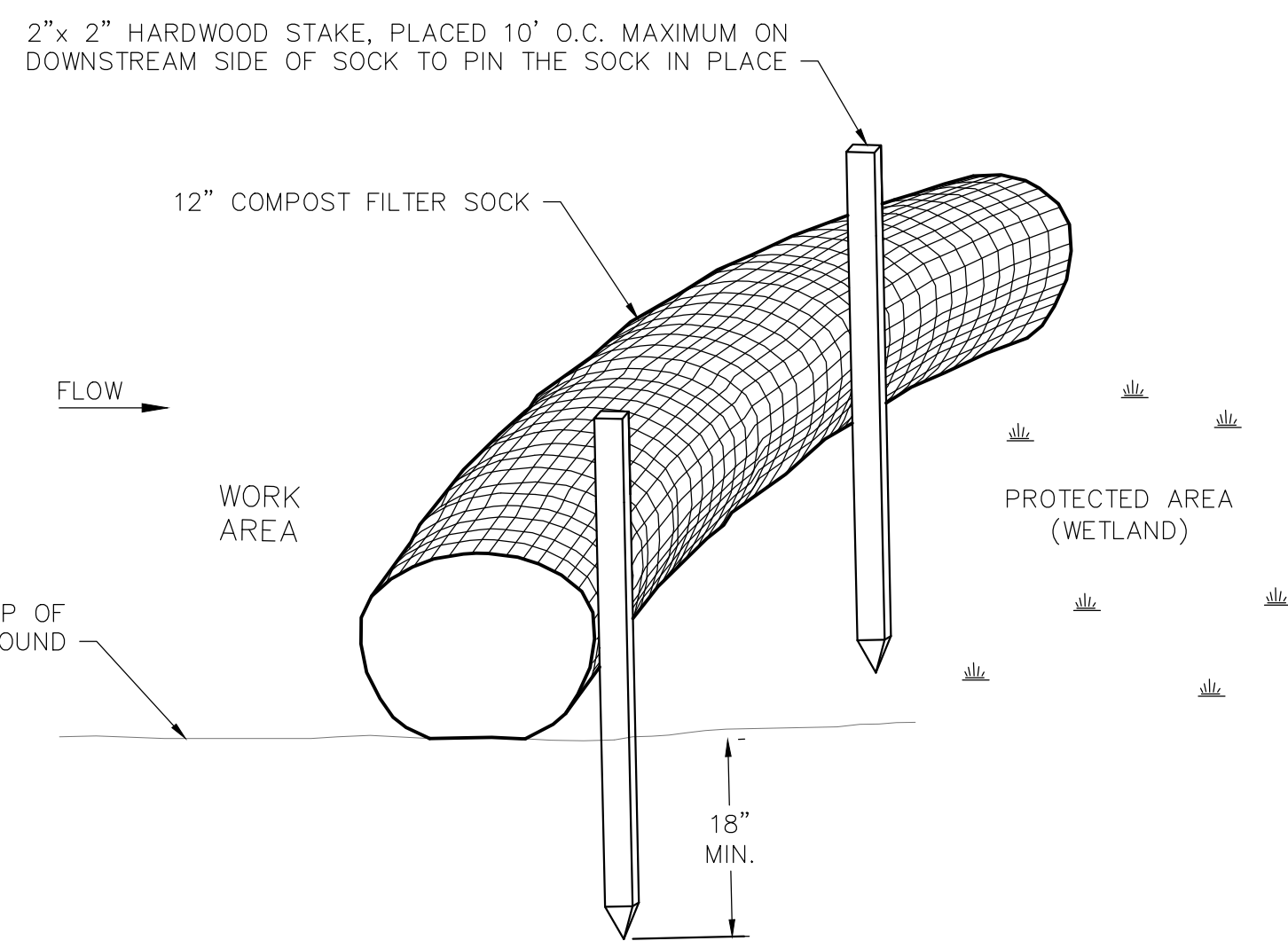




**NOTES:**

1. DENSE GRADED CRUSHED STONE IS PER MASS HIGHWAY STANDARD SPECIFICATIONS, SECTION M2.01.7.
2. GRAVEL BORROW TYPE C IS PER MASS HIGHWAY SECTION STANDARD SPECIFICATIONS, M1.03.0, 2 INCHES LARGEST DIMENSION.
3. PAVEMENT THICKNESSES ARE DIMENSIONS AFTER COMPACTION.
4. CRUSHED STONE AND GRAVEL BORROW SHALL BE COMPACTED IN LIFTS TO 95% PROCTOR DENSITY PRIOR TO PLACEMENT OF PAVEMENT.
5. THE BITUMINOUS CONCRETE SHALL BE HOT BITUMINOUS CONCRETE PAVEMENT PER MASSACHUSETTS STANDARD SPECIFICATIONS, CURRENT EDITION, SECTION 400.
6. PAVEMENT SECTION SHALL BE CONFIRMED WITH OWNER AND LOCAL SPECIFICATIONS.

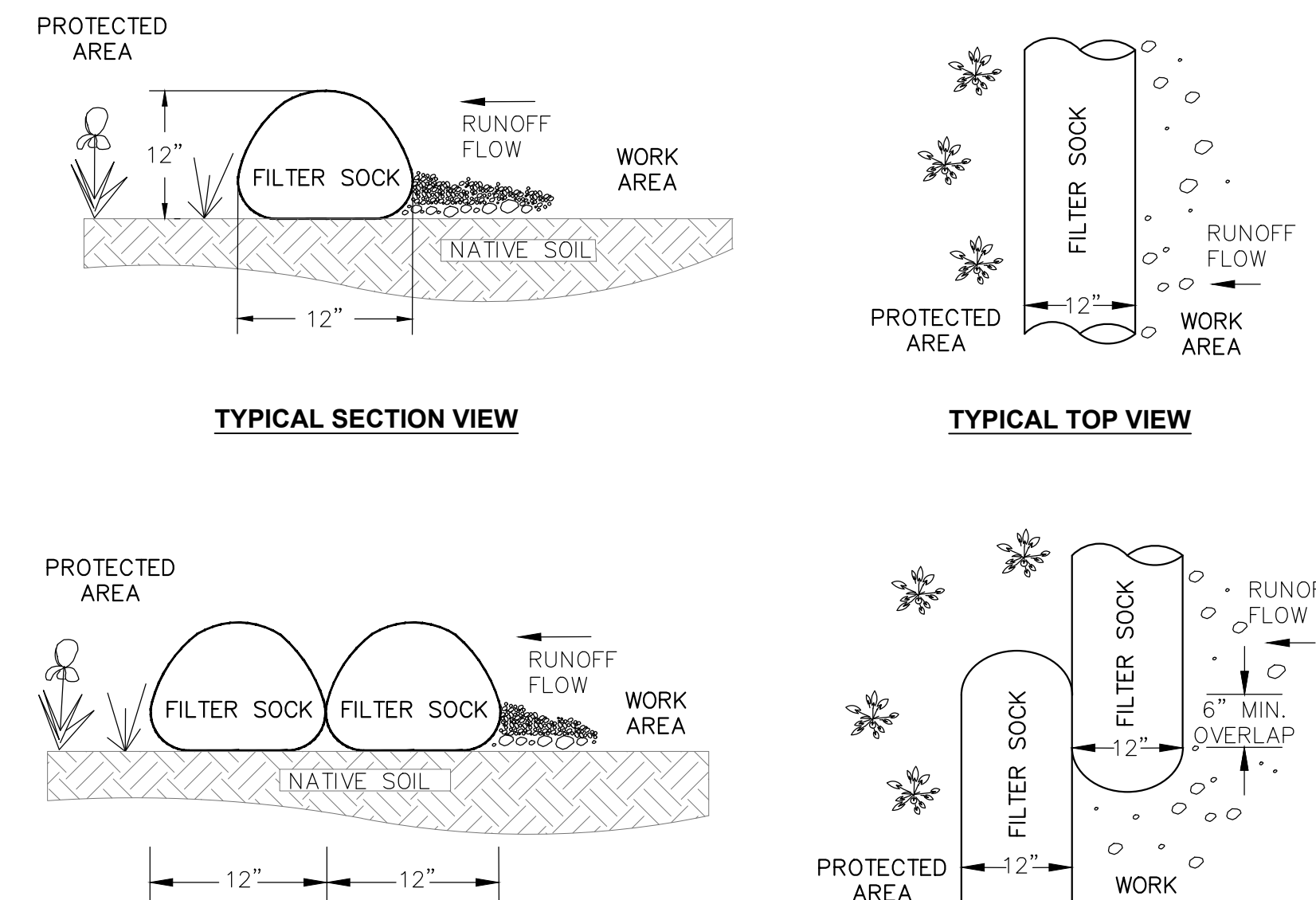
**BITUMINOUS CONCRETE PAVEMENT SECTION**  
N.T.S.



**NOTES:**

1. EACH FILTER SOCK SHALL CONSIST OF COMPOST MATERIAL WRAPPED IN PERMEABLE. COMPOST MATERIAL AND FABRIC CASING SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL PAY FOR COMPOST MATERIAL TESTING IF REQUIRED.
3. FILTER SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. WHEN JOINING TWO FILTER SOCKS, TIGHTLY ABOUT BOTH ENDS OR OVERLAP THE FILTER SOCKS APPROXIMATELY 12". IF FILTER SOCKS ARE JOINED BY ABUTTING THE ENDS, TIE THE ENDS TOGETHER USING HEAVY TWINE OR PLASTIC LOCKING TIES.
5. ENDS OF FILTER SOCKS SHALL BE TURNED UP THE SLOPE, SO AS TO RETAIN WATER AND PREVENT ITS RELEASE FROM THE END OF THE FILTER SOCK.
6. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

**COMPOST SOCK DETAIL**  
N.T.S.



**NOTES:**

1. EACH FILTER SOCK SHALL CONSIST OF COMPOST MATERIAL WRAPPED IN BURLAP. COMPOST MATERIAL AND BURLAP CASING SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL PAY FOR COMPOST MATERIAL TESTING IF REQUIRED.
3. FILTER SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. COMPOST FILTER SOCK TO BE STAKED WITH A 4' BEANPOLE AT A MAXIMUM DISTANCE OF 10'. STAKE CLOSER AS NEEDED.

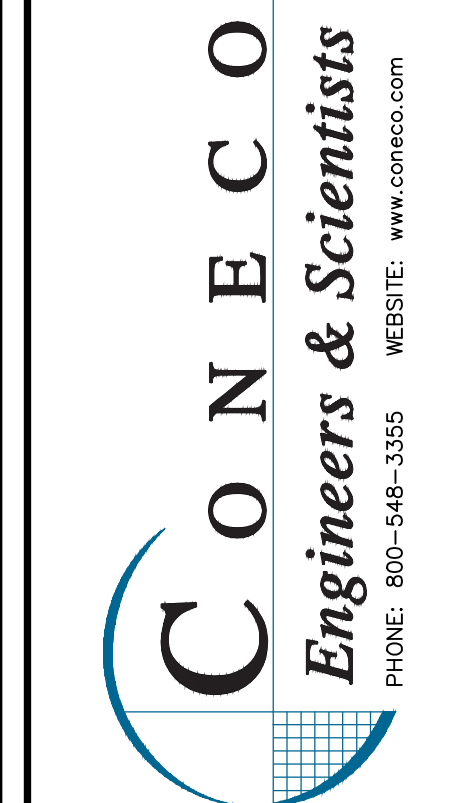
**COMPOST FILTER SOCK UNION ENDS DETAIL**  
N.T.S.

NO.	DATE	DESCRIPTION	DR/CK

PREPARED FOR:  
SOUTH SHORE RECYCLING COOPERATIVE  
118 ROCKLAND STREET  
HANOVER, MA 02339

PROJECT:  
HANOVER TRANSFER STATION  
118 ROCKLAND STREET  
HANOVER, MA 02339

PLAN SET:



DATE: 01/07/2026  
DESIGNED: BTM CHECKED: MSD  
DRAFTED: BTM IN CHARGE: KEM  
SCALE: N.T.S.  
PROJECT NO. 13493.0  
SHEET NO.